

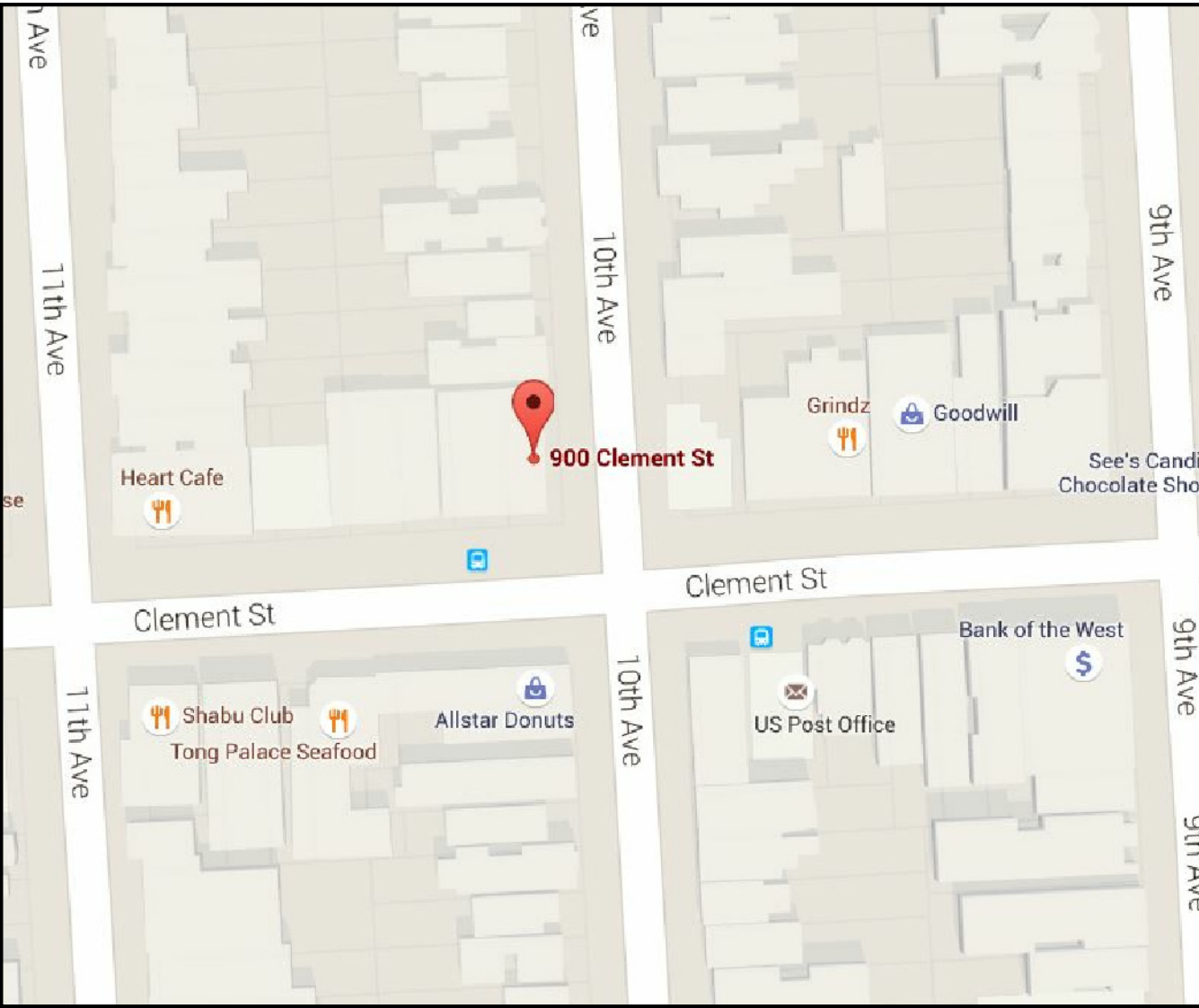
ADDRESS: 900 CLEMENT ST. SAN FRANCISCO CA,
 BLOCK & LOT: BLOCK 1423 LOT 047
 ZONING: NCD - CLEMENT NEIGHBORHOOD COMMERCIAL
 STORIES: (E): 2 (N): 3
 HEIGHT LIMIT: 40-X
 YEAR BUILT: 1979
 LOT AREA: 2,273 SF
 BLDG. TYPE: VB -SPRINKLER THROUGHOUT

BLDG. AREA:	FLOOR	(E) AREA	(N) AREA	(E) OCC. GROUP	(N) OCC. GROUP
	BASEMENT	0	1,576 SF	N/A	S2 (STORAGE)
	1ST FLOOR	2,273 SF	2,111 SF	B(RETAIL)	B(DENTAL OFF.), S2(GARAGE)
	2ND FLOOR	2,273 SF	2,245 SF	B(DENTAL OFF.)	B(DENTAL OFF.)
	3RD FLOOR	0	1,695 SF	N/A	R-3
	TOTAL	4,546SF	8,313 SF		

OPEN SPACE: REAR YARD REQ.-2,273SF X 25% = 568SF WHICH PROVIDED ON 3RD FL.
 ROOF DECK-497SF PROVIDED

SCOPE OF WORK:
 - SEEKING CONDITIONAL USE FOR MEDICAL SERVICE USE IN EXCESS OF 2,500SF AND MEDICAL SERVICE USE ON 2ND FLOOR.
 -CHANGE OF USE: CONVERT (E) RETAIL SPACE ON 1ST FLOOR TO (N) DENTAL OFFICES
 -VERTICAL ADDITION - ADD 1 (N) 3RD FLOOR FOR 1 RESIDENTIAL UNIT
 -ADD (N) BASEMENT FOR STORAGE & (N) ROOF DECK

PERMITS: FIRE PROTECTION, LIFE SAFETY, SPRINKLER, FIRE ALARM AND SIGNAGE ARE UNDER SEPARATE PERMITS



ARCHITECT: ALAN TSE | CHARLES CHAN
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2013 CALIFORNIA BUILDING CODE
 2013 CALIFORNIA ELECTRICAL CODE
 2013 CALIFORNIA MECHANICAL CODE
 2013 SAN FRANCISCO AMENDMENT
 2013 SAN FRANCISCO FIRE CODE
 2013 T24

REVISIONS

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PROJECT DATA

- GENERAL INFORMATION
- A0.1 COVER SHEET
 - A0.2 CODE ANALYSIS
 - A0.3 ADA ACCESSIBILITY DIAGRAMS
 - A0.4 EXISTING BUILDING PLANS
 - A0.5 EXISTING BUILDING ELEVATIONS & SECTIONS

- FLOOR PLANS
- A1.1 PROPOSED BASEMENT & GROUND FLOOR PLANS
 - A1.2 PROPOSED SECOND & THIRD FLOOR PLANS
 - A1.3 PROPOSED ROOF LEVEL & ROOF PLANS

- SECTIONS
- A2.1 PROPOSED BUILDING SECTIONS

- ELEVATIONS
- A3.1 PROPOSED BUILDING ELEVATIONS
 - A3.2 PROPOSED BUILDING ELEVATIONS

SHEET INDEX

- CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE WITH ANY AND ALL CITY, STATE, AND FEDERAL BUILDING LIFE SAFETY CODES, INCLUDING BUT NOT LIMITED TO 2013 CALIFORNIA BUILDING CODE, AND 2013 SAN FRANCISCO HOUSING CODE WITH APPROPRIATE UPDATES SUCH THAT.
 - ALL WORK PERFORMED AND MATERIALS SUPPLIED SHALL BE IN ACCORDANCE WITH ALL ORDINANCES OF THE VARIOUS BUREAUS HAVING JURISDICTION INCLUDING THE FIRE UNDERWRITERS.
 - ANY WORK SHOWN ON THE DRAWINGS OR DESCRIBED TO BE INSTALLED, IS SUBJECT TO THE LAWS, ORDINANCES OR REGULATIONS OF ANY OF THE AUTHORITIES HAVING JURISDICTION, SHALL BE MODIFIED TO BRING IT INTO CONFORMITY WITH THESE LAWS, ORDINANCES AND REGULATIONS WITHOUT ANY ADDITIONAL COST TO THE OWNER.
- THE OWNER AND ARCHITECT SHALL BE FREE OF HARMFUL CAUSING BY CONTRACTOR'S DEFECTIVE WORK.
- BY PERFORMING WORK UNDER THIS CONTRACT, THE CONTRACTOR AGREES TO GUARANTEE ALL WORK AND EQUIPMENT PROVIDED BY HIM OR HIS SUBCONTRACTORS AGAINST DEFECTIVE MATERIAL AND WORKMANSHIP FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE. IF SPECIFICATIONS PROVIDE FOR ANY OTHER OR ADDITIONAL GUARANTEE, SUCH GUARANTEE SHALL BE INCLUDED IN A WRITTEN STATEMENT, UPON RECEIPT OF NOTICE FROM THE OWNER, AND AT NO EXPENSE TO THE OWNER, THE CONTRACTOR SHALL PROPERLY COMPLY WITH THE PROVISIONS OF SUCH GUARANTEE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON-SITE, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK. DO NOT SCALE DRAWINGS, FOR CONCEPT ONLY.
- ALL WORK SHALL BE PERFORMED BY THE CONTRACTOR IN A CLEAN AND PROFESSIONAL MANNER BY PERSONS QUALIFIED AND EXPERIENCED IN THE PARTICULAR WORK IN WHICH THEY ARE INVOLVED.
- ALL EXISTING EQUIPMENT, FURNISHING AND CONSTRUCTION SHALL BE PROTECTED AT ALL TIMES BY THE CONTRACTOR.
- ALL MATERIALS SHALL BE PROPERLY PROTECTED FROM DAMAGE AND / OR WEATHER UNTIL FINAL ACCEPTANCE OF THE WORK.
- AT THE TIME OF PROJECT COMPLETION, THE CONTRACTOR SHALL CLEAN UP AND REMOVE ALL RUBBISH, AND PRESENT THE PREMISES FREE OF EQUIPMENT AND SURPLUS MATERIAL. ALL SURFACES SHALL BE DUST AND GREASE FREE, AND ALL GLAZING SHALL BE WASHED TO OWNER'S SATISFACTION.
- ALL DIMENSIONS SHOWN FROM FINISH SURFACE TO FINISH SURFACE UNLESS NOTED. VERTICAL DIMENSIONS ARE SHOWN TO TOP OF FINISHED FLOOR UNLESS NOTED.
- CONTRACTOR AND SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS PRIOR TO COMMENCING WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DIMENSIONS/CONDITIONS SHOWN IN THESE DRAWINGS.
- MECHANICAL, PLUMBING AND ELECTRICAL SHALL BE THE RESPONSIBILITY OF THOSE SUBCONTRACTORS.
- STREET AND SIDEWALK IMPROVEMENTS SHALL BE CONDUCTED UNDER SEPARATE PERMITS.
- CONTRACTOR SHALL REVIEW AND UTILIZE SPECIFICATIONS PROVIDED IN CONJUNCTION WITH THIS SET OF CONSTRUCTION DOCUMENTS. ARCHITECT SHOULD BE NOTIFIED OF ANY DISCREPANCY BETWEEN DRAWINGS AND SPECIFICATIONS.
- PENETRATIONS MADE IN THE BUILDING ENVELOPE SHALL BE PROPERLY / TEMPORARILY SEALED FOR PROTECTION FROM WEATHER.

GENERAL NOTES

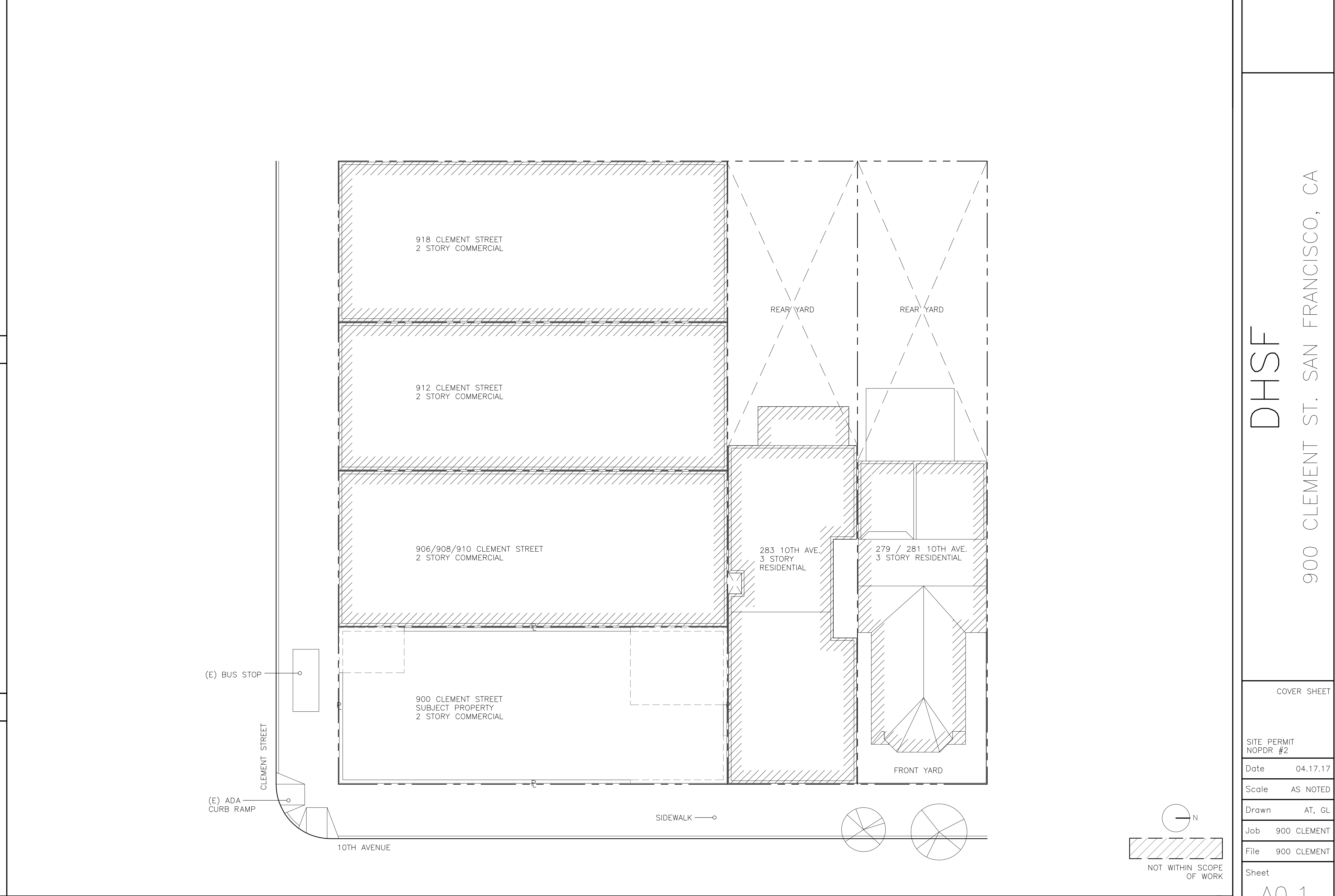
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ELEVATION TAG ELEVATION PT.	ROOM TAG FUNCTION ROOM #	DOOR TAG DOOR TYPE
CASEWORK TAG CASEWORK #	FURNITURE TAG FURNITURE #	WINDOW TAG WINDOW TYPE

SYMBOLS

CONTEXT PHOTO

VICINITY MAP

CONTACT INFORMATION BUILDING CODE REF.



(E) PLOT PLAN

DHSF
 900 CLEMENT ST. SAN FRANCISCO, CA

COVER SHEET

SITE PERMIT
 NOPDR #2

Date 04.17.17

Scale AS NOTED

Drawn AT, GL

Job 900 CLEMENT

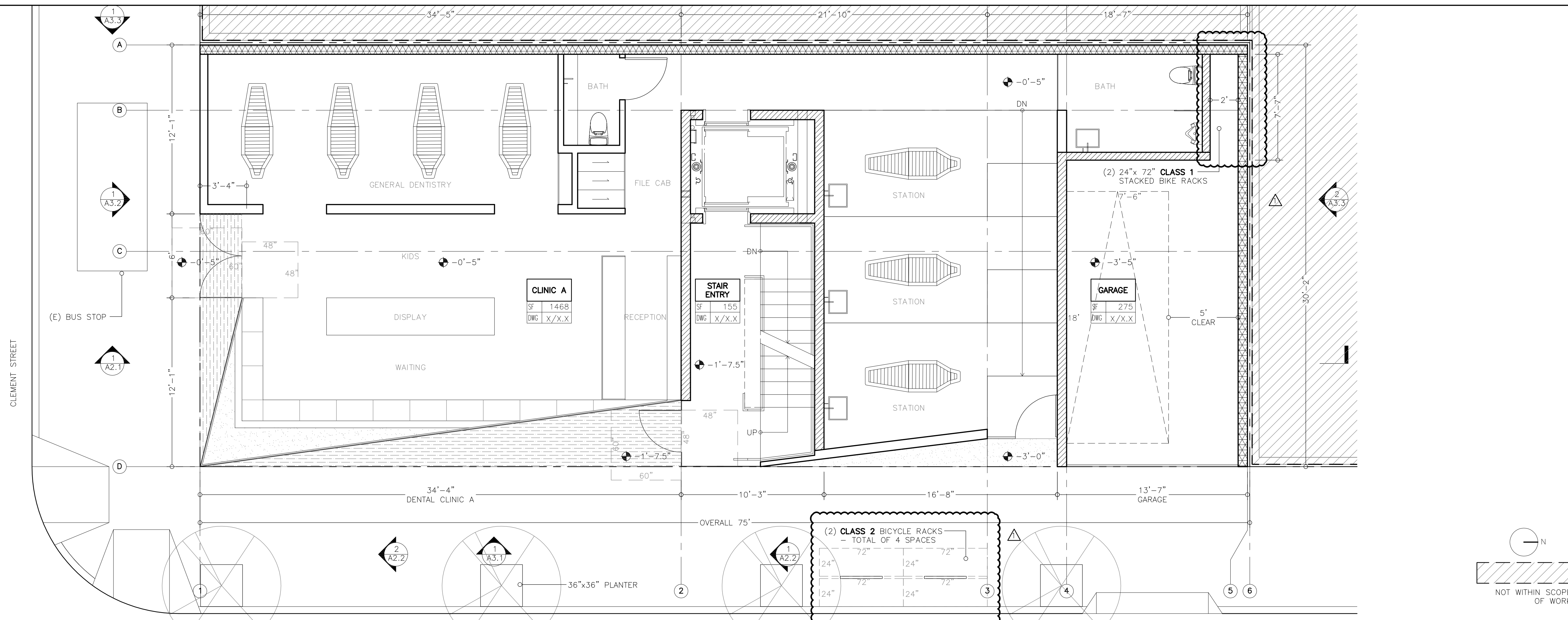
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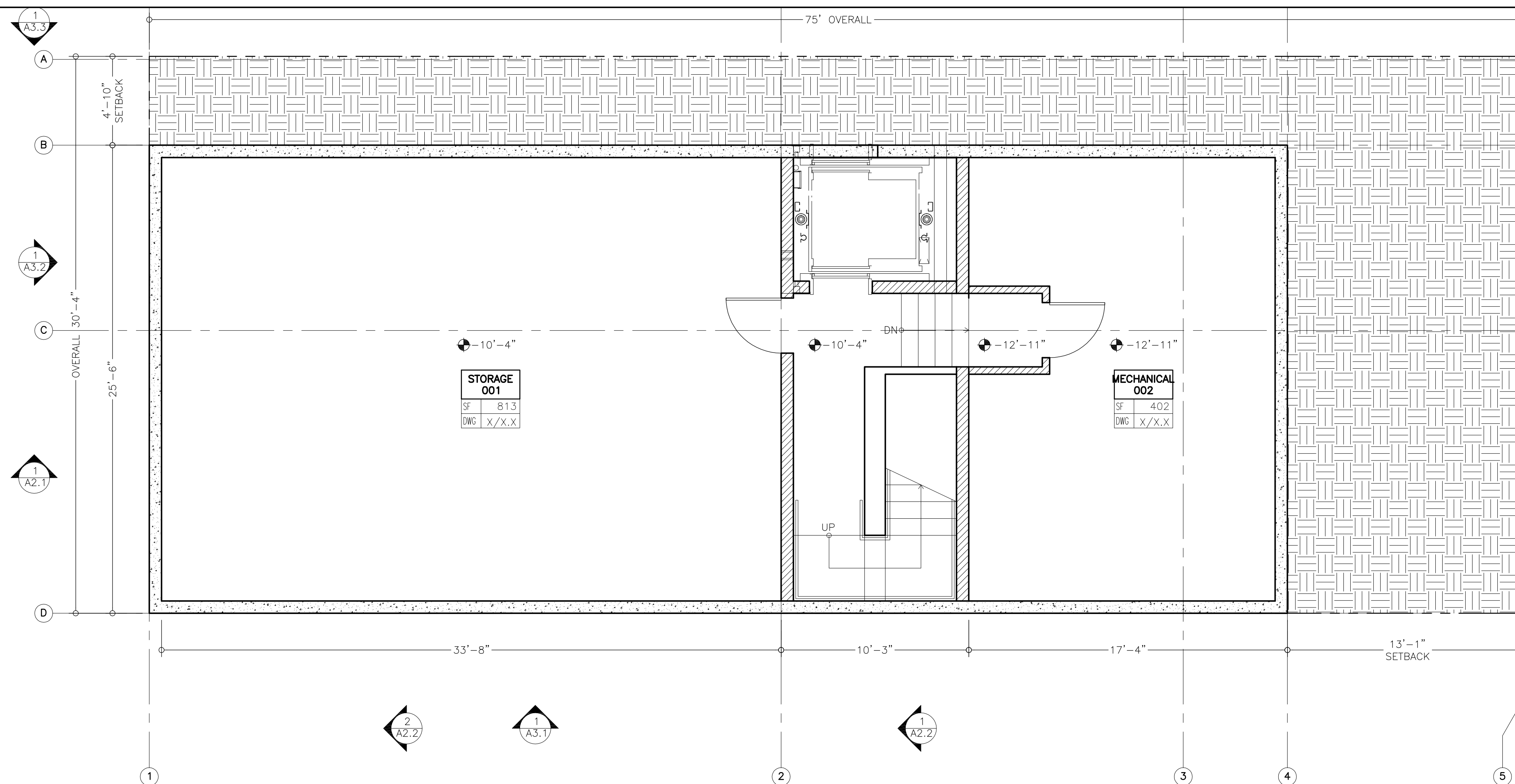
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N.T.S. 1



PROPOSED GROUND FLOOR PLAN

1/4" = 1'-0" 1



PROPOSED BASEMENT FLOOR PLAN

1/4" = 1'-0" 2

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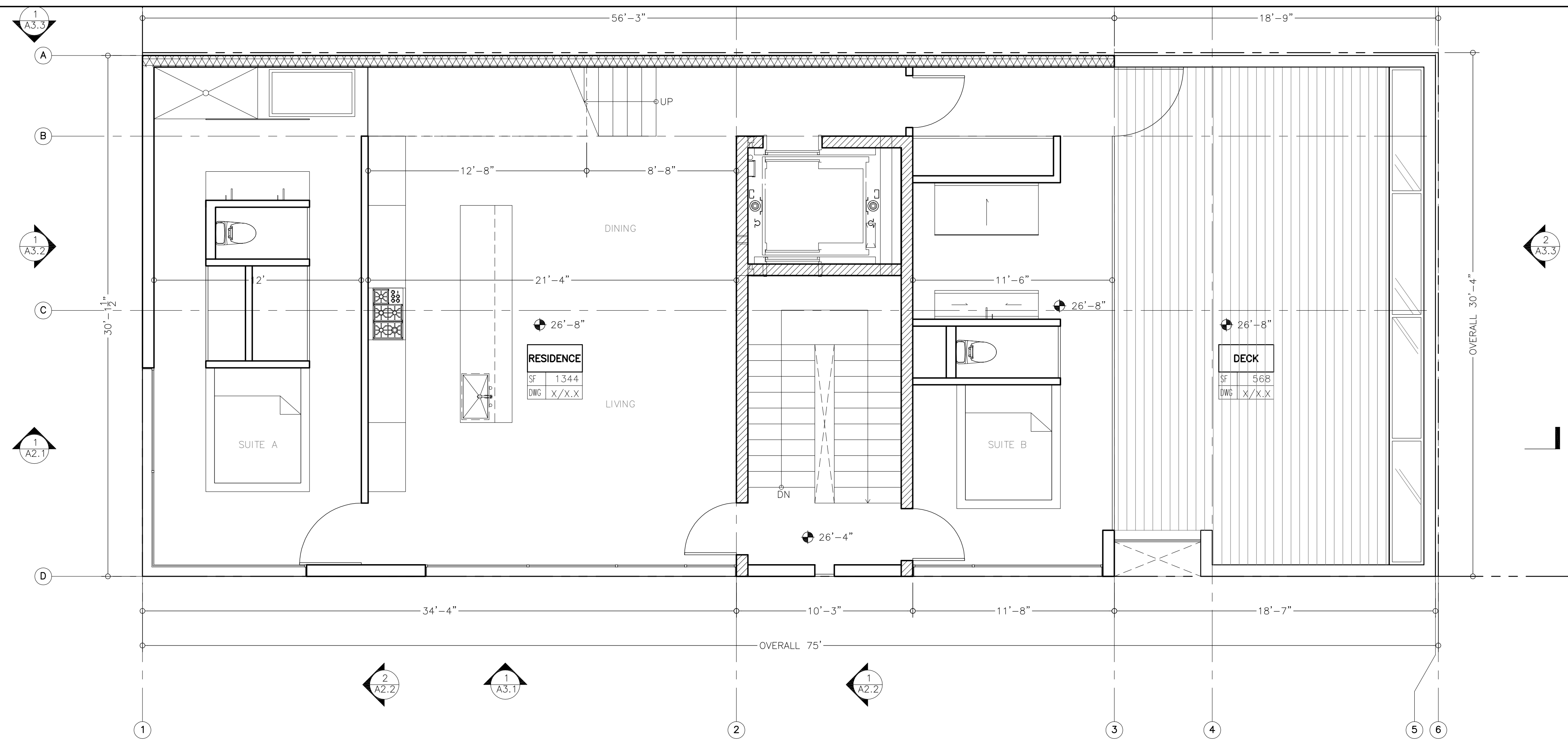
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900 CLEMENT ST. SAN FRANCISCO, CA

- (E) EXTERIOR 1-HR RATED WALL
-2X STUDS @ 16" O.C.
S.S.D. W/ 5/8" TYPE "X" GYP. BD. ON BOTH SIDES, V.I.F.
- (N) EXTERIOR 1-HR RATED WALL
-2X STUDS @ 16" O.C.
S.S.D. W/ 5/8" TYPE "X" GYP. BD. ON BOTH SIDES
- (N) INTERIOR 1HR. RATED WALL
-2X STUDS @ 16" O.C.
S.S.D. W/ 5/8" TYPE "X" GYP. BD. ON BOTH SIDES
- (N) INTERIOR NON-RATED WALL
-3" GYP. BD. ON BOTH SIDES OF 2X STUD 16" O.C. S.S.D.
- (N) CONCRETE WALL

PROPOSED PLANS
-1ST FLOOR PLAN
-BASEMENT PLAN

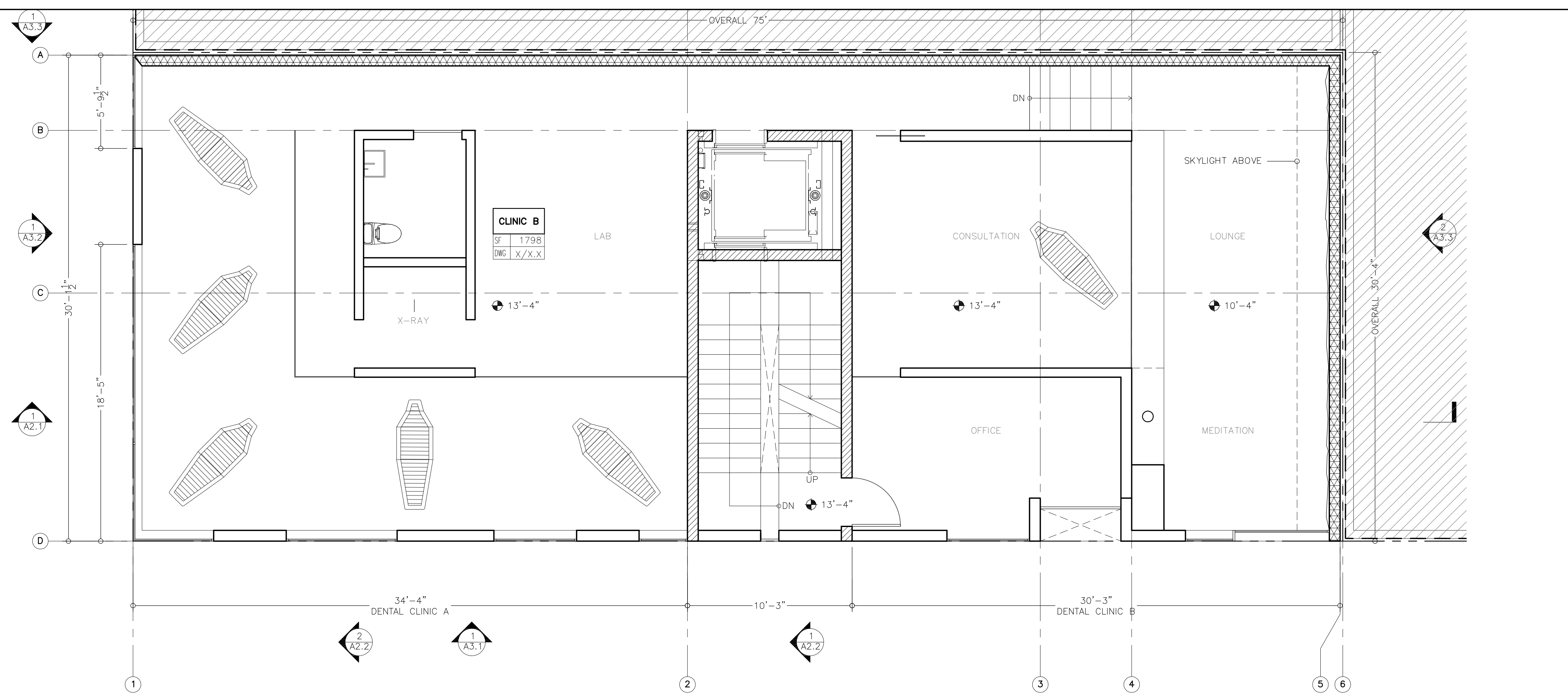
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PROPOSED THIRD FLOOR PLAN

1/4" = 1'-0" 1



PROPOSED SECOND FLOOR PLAN

1/4" = 1'-0" 2

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- (E) EXTERIOR 1-HR RATED WALL
 -2X STUDS @ 16" O.C.
 S.S.D. W/ 5/8" TYPE "X" GYP. BD. ON BOTH SIDES, V.I.F.
- (N) EXTERIOR 1-HR RATED WALL
 -2X STUDS @ 16" O.C.
 S.S.D. W/ 5/8" TYPE "X" GYP. BD. ON BOTH SIDES
- (N) INTERIOR 1HR. RATED WALL
 -2X STUDS @ 16" O.C.
 S.S.D. W/ 5/8" TYPE "X" GYP. BD. ON BOTH SIDES
- (N) INTERIOR NON-RATED WALL
 -1/2" GYP. BD. ON BOTH SIDES OF 2X STUD 16" O.C. S.S.D.
- (N) EXTERIOR CONCRETE WALL

PROPOSED PLANS
 -THIRD FLOOR PLAN
 -SECOND FLOOR PLAN

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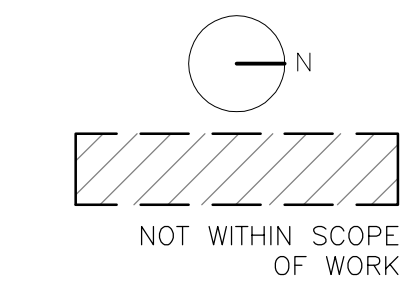
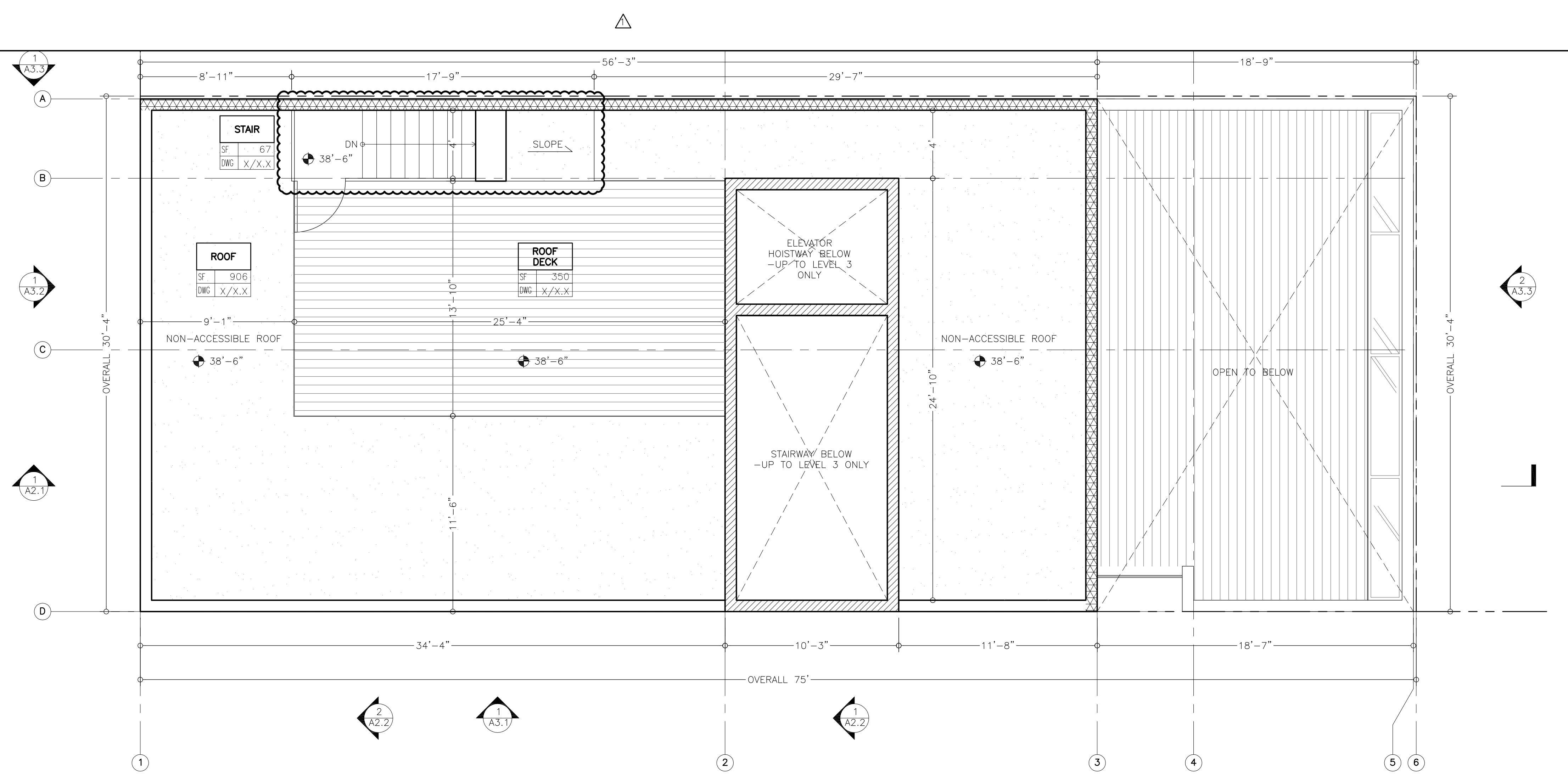
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PROPOSED PLANS
-ROOF LEVEL PLAN

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(E) EXTERIOR 1-HR RATED WALL
-2X STUDS @ 16" O.C.
S.S.D. W/ 5/8" TYPE "X" GYP. BD. ON BOTH SIDES, V.I.F.

(N) EXTERIOR 1-HR RATED WALL
-2X STUDS @ 16" O.C.
S.S.D. W/ 5/8" TYPE "X" GYP. BD. ON BOTH SIDES

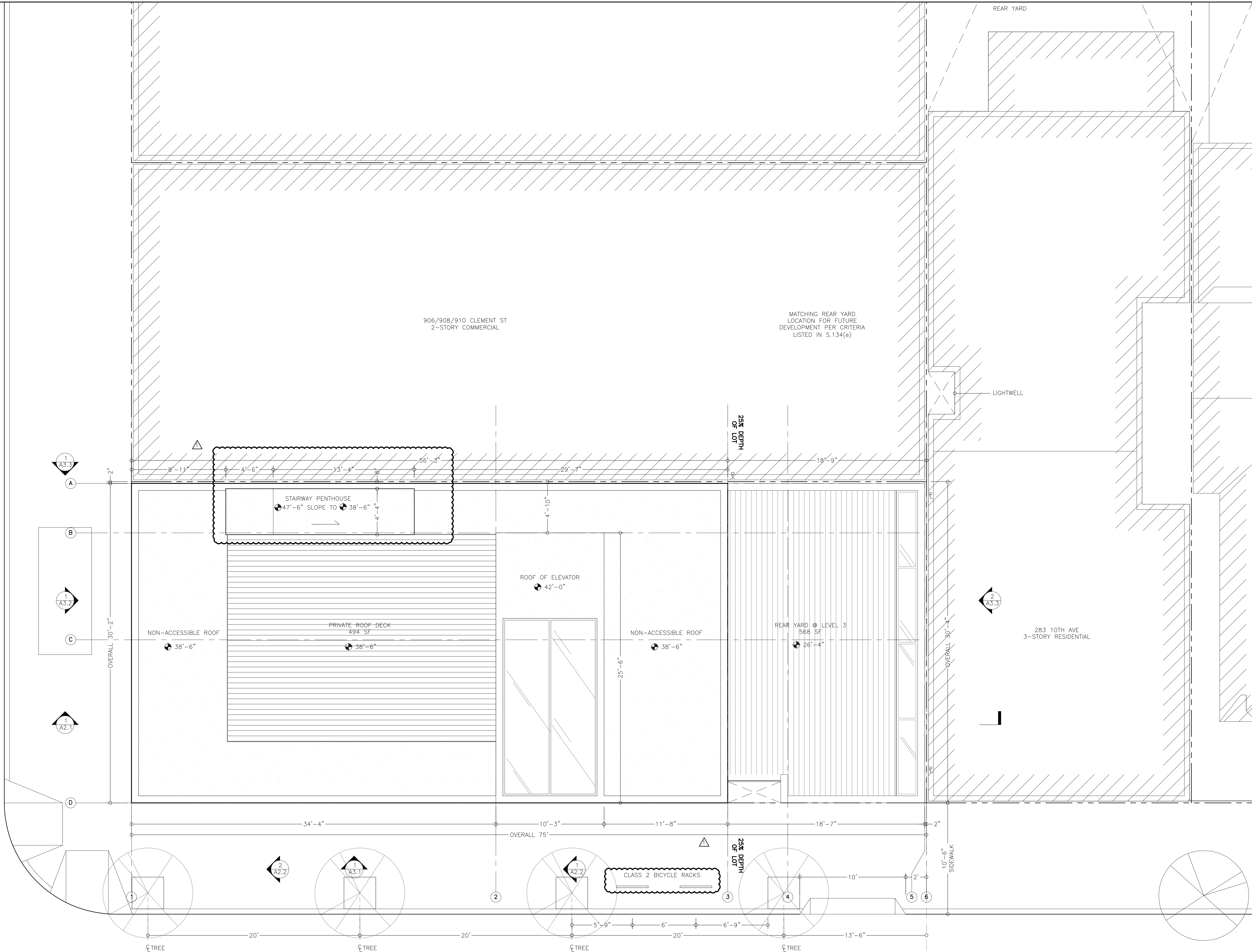
(N) INTERIOR 1HR. RATED WALL
-2X STUDS @ 16" O.C.
S.S.D. W/ 5/8" TYPE "X" GYP. BD. ON BOTH SIDES

(N) INTERIOR NON-RATED WALL
-1" GYP. BD. ON BOTH SIDES OF 2X STUD 16" O.C. S.S.D.

(N) EXTERIOR CONCRETE WALL

PROPOSED ROOF LEVEL PLAN

1/4" = 1'-0" 1



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PROPOSED PLANS
-ROOF PLAN

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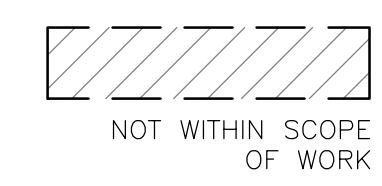
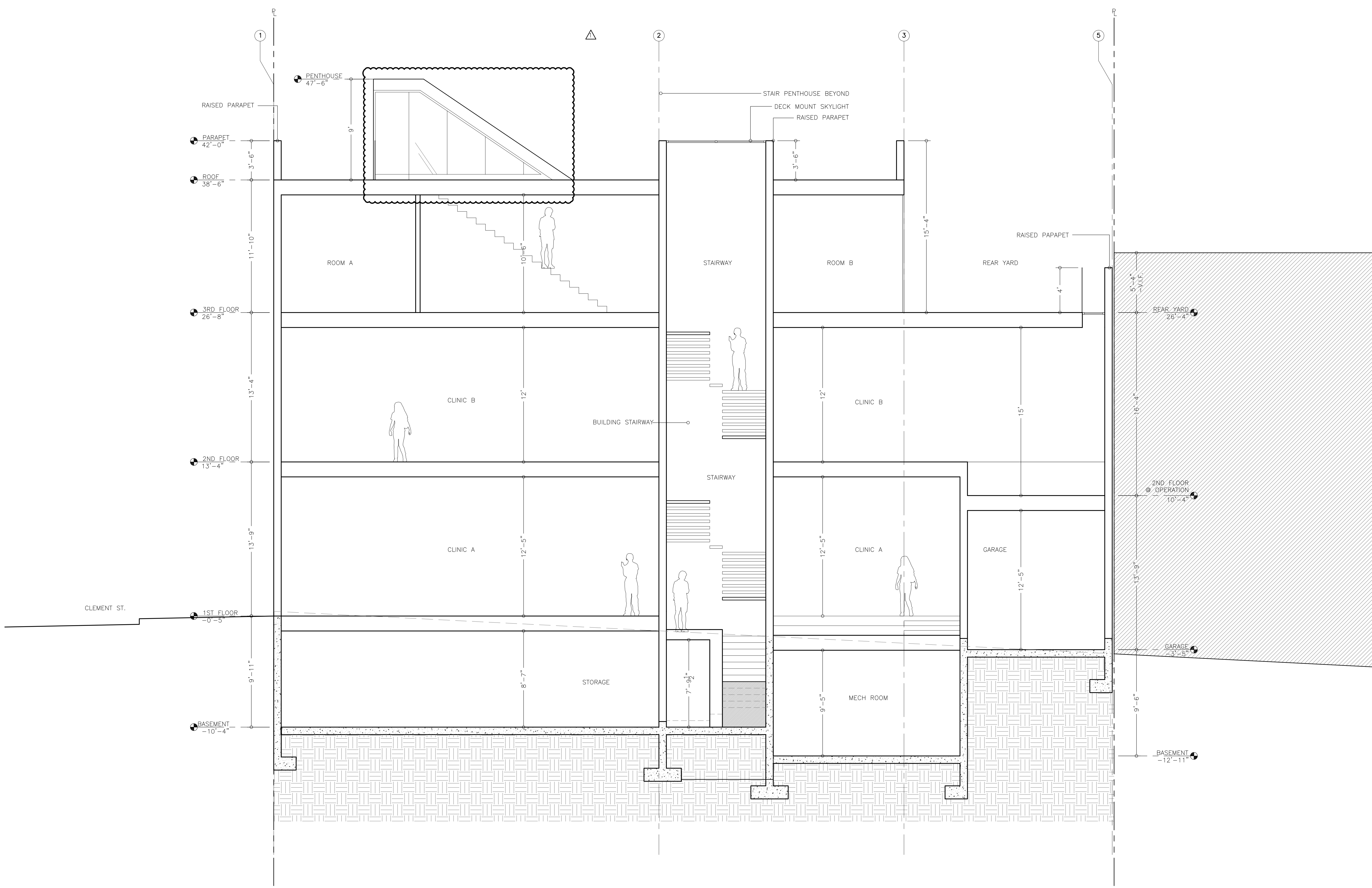
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PROPOSED SECTIONS

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LONGITUDINAL SECTION

1/4" = 1'-0" 1

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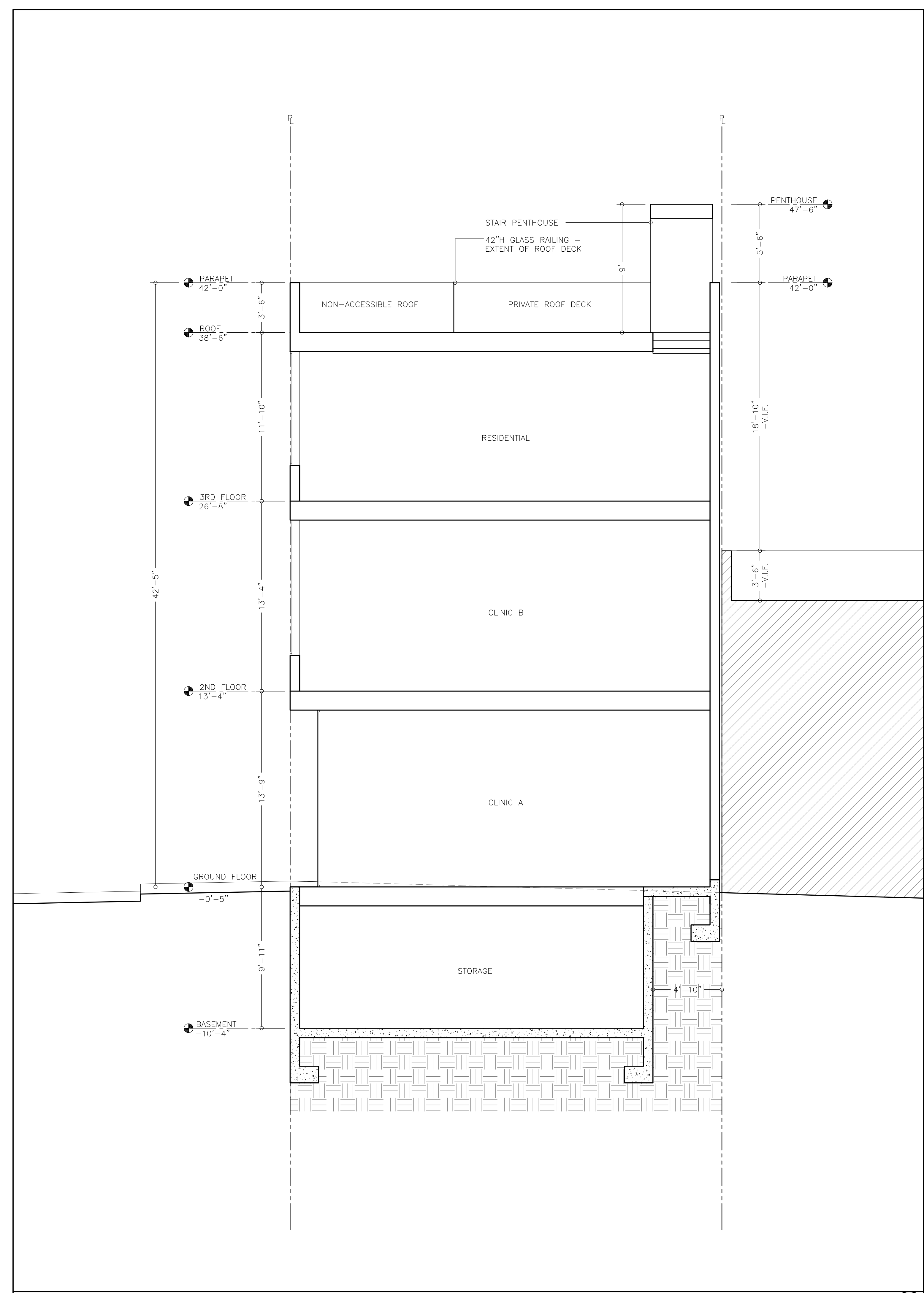
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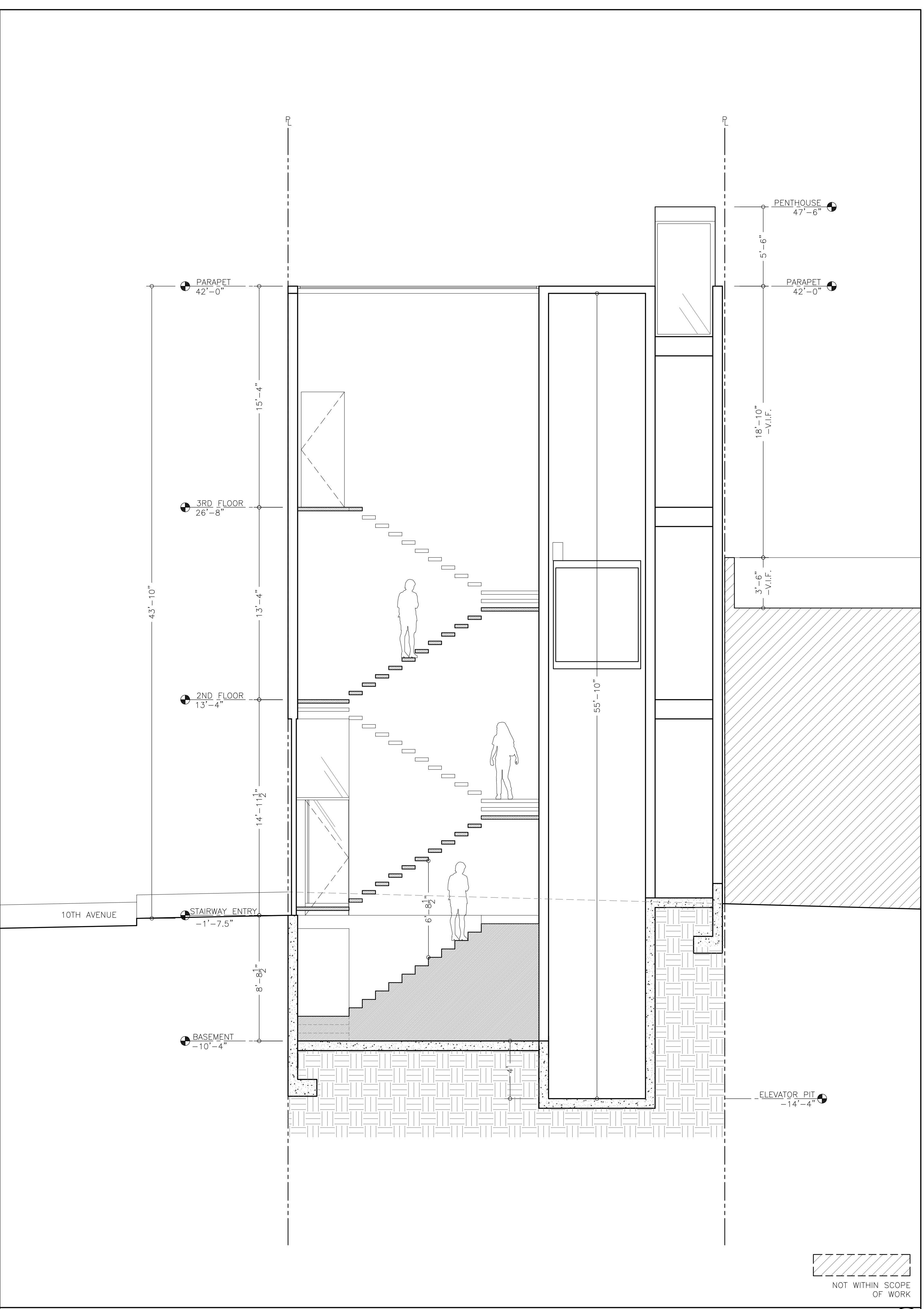
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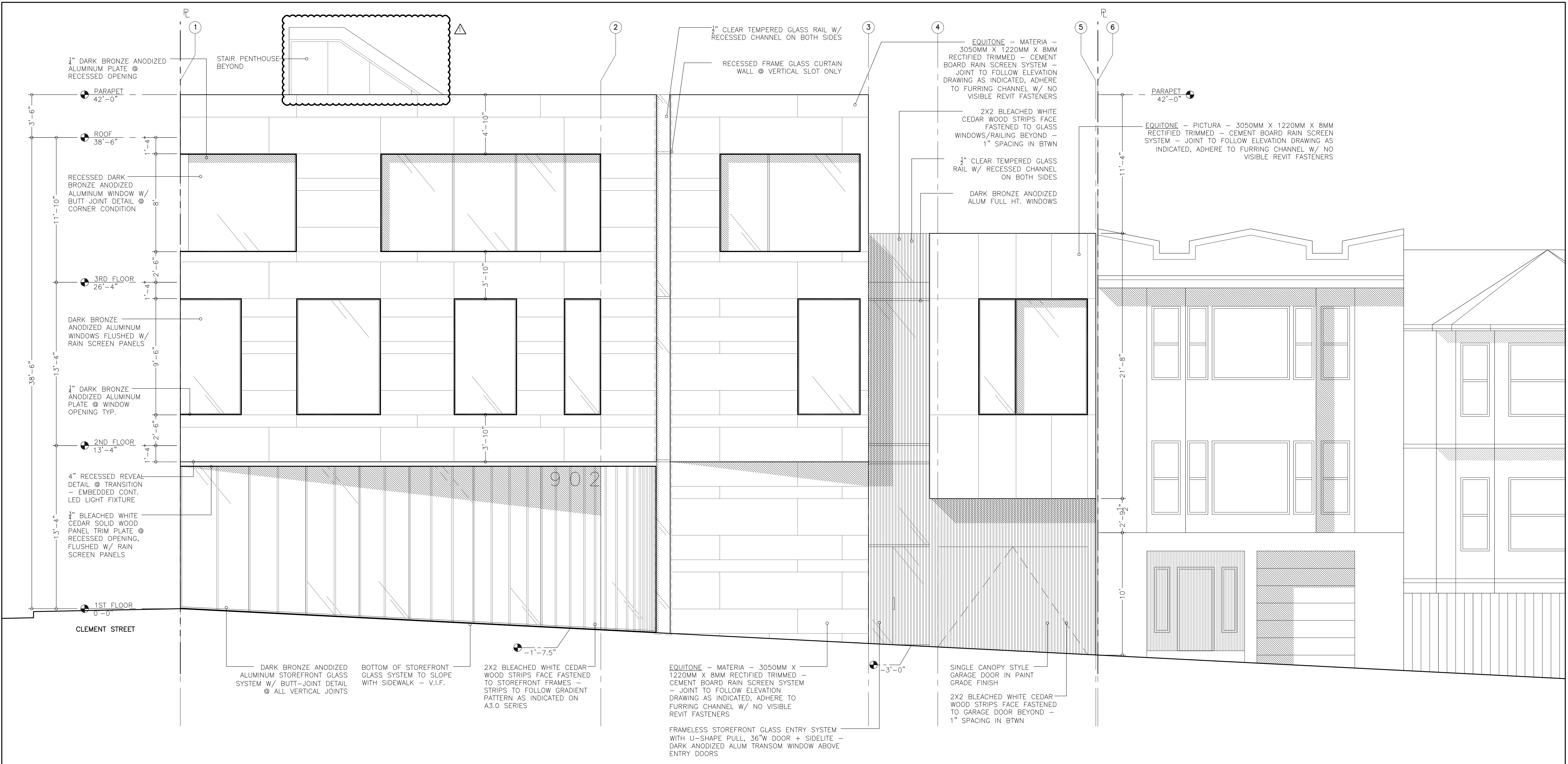
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CROSS SECTION 1/4" = 1'-0" 2



CROSS SECTION 1/4" = 1'-0" 1



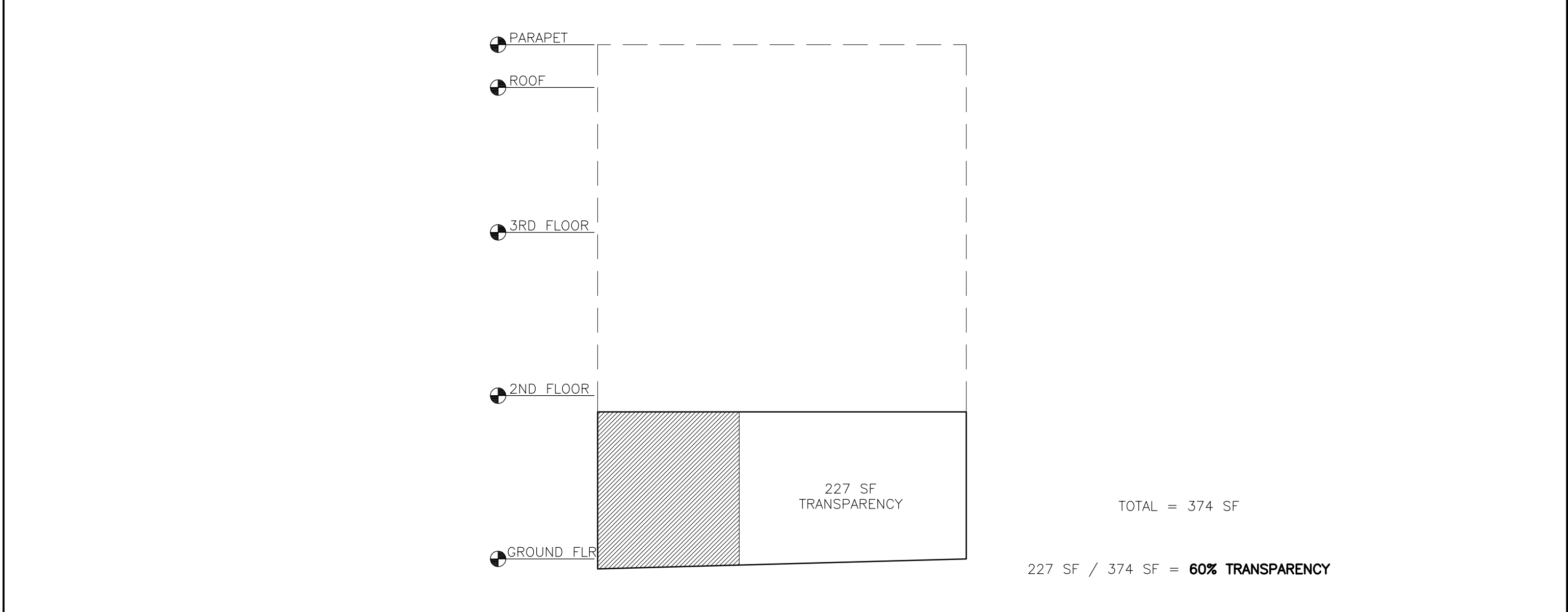
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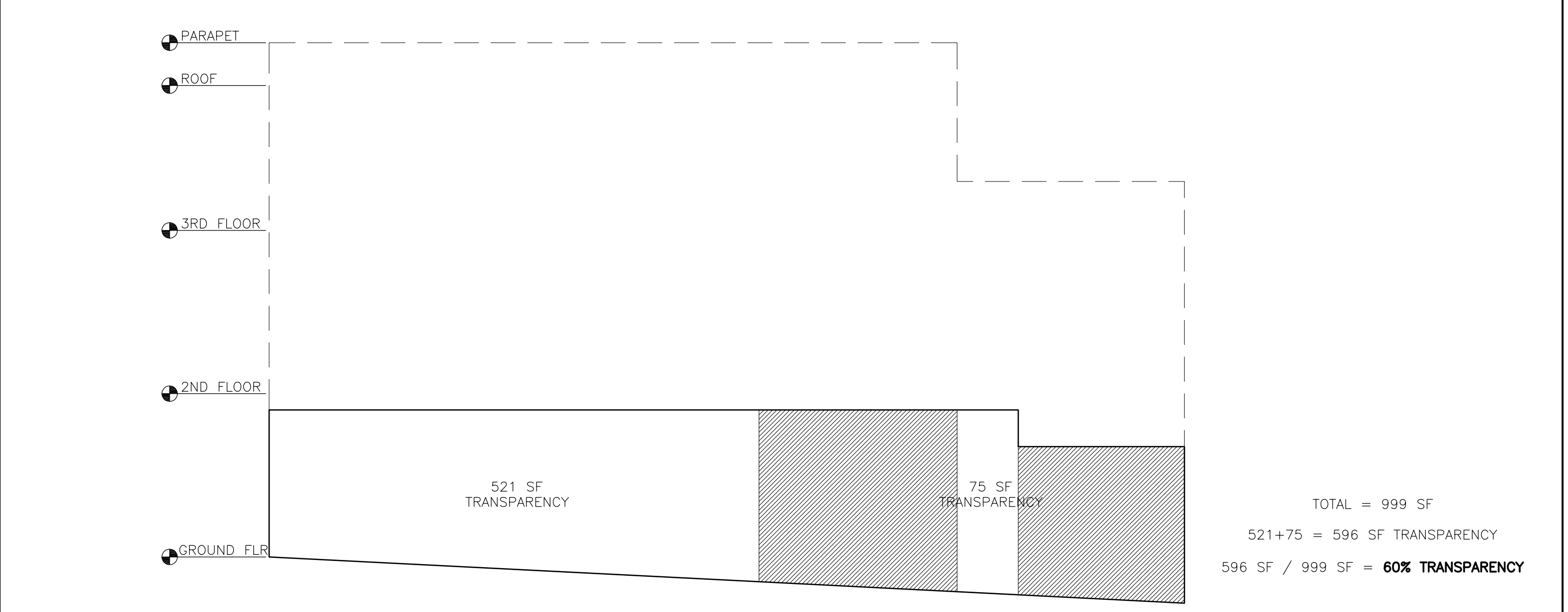
PROPOSED EAST ELEVATION - 10TH AVENUE

1/4" = 1'-0" 1



GROUND FLOOR ACTIVE USE TRANSPARENCY CALCULATION: CLEMENT STREET ELEVATION

1/8" = 1'-0" A



GROUND FLOOR ACTIVE USE TRANSPARENCY CALCULATION: 10TH AVENUE ELEVATION

1/8" = 1'-0" B

PROPOSED ELEVATIONS

DESIGN DEVELOPMENT

Date 04.30.17

Scale AS NOTED

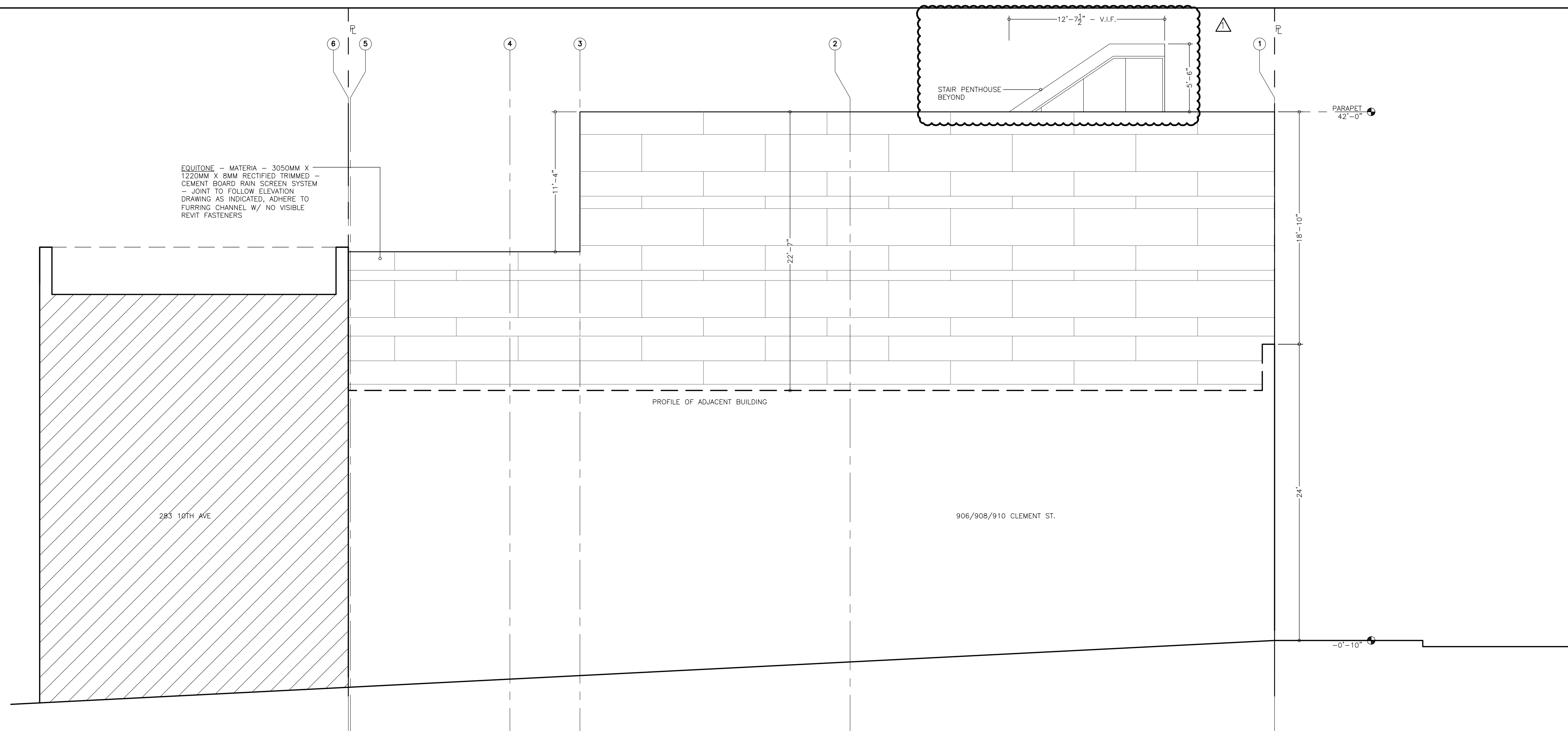
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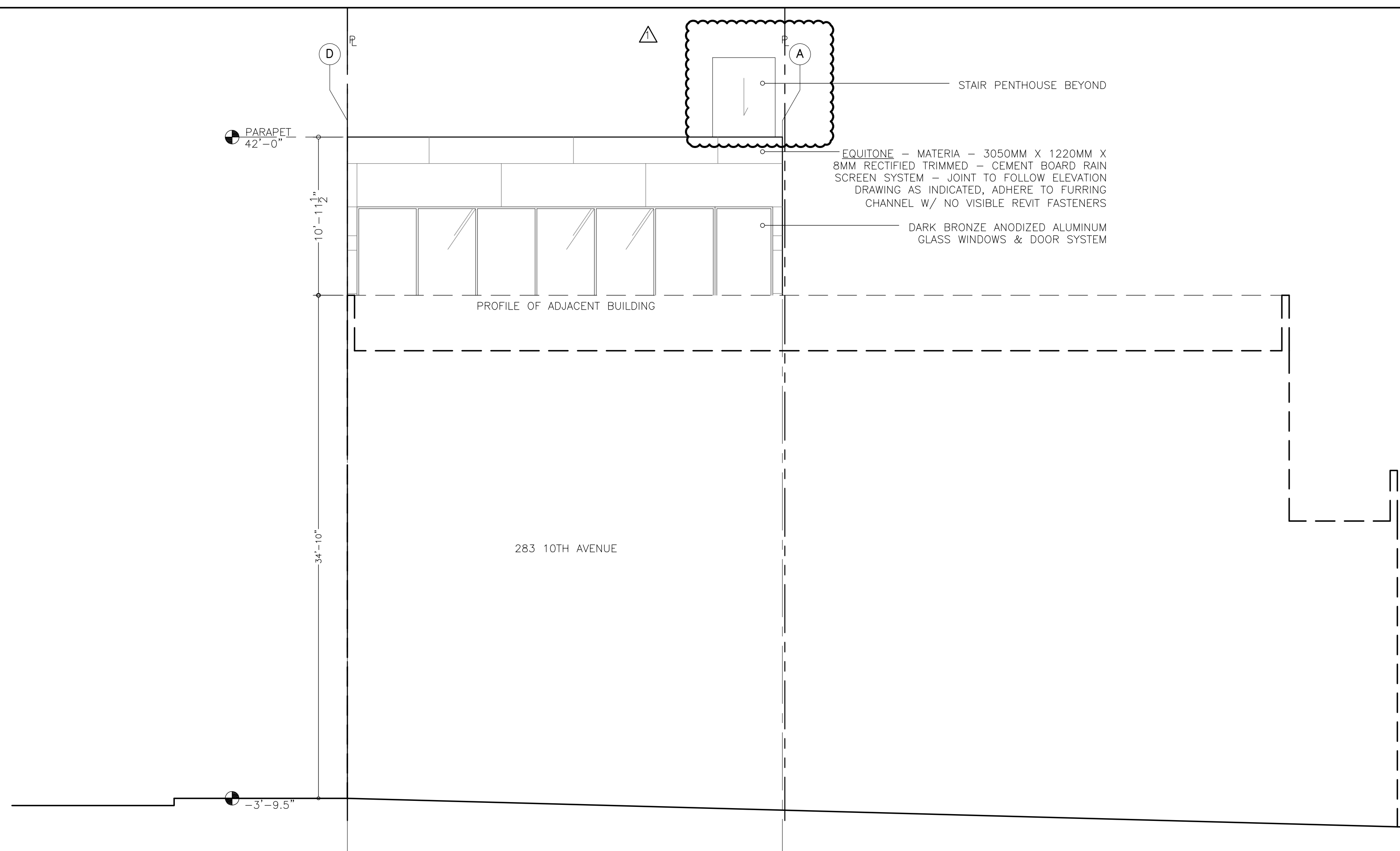
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PROPOSED WEST ELEVATION

3/16" = 1'-0"

1



PROPOSED NORTH ELEVATION

3/16" = 1'-0"

2

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PROPOSED
ELEVATIONS

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